



GENERAL NOTES

- 1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITY OF OCALA LAND DEVELOPMENT CODE AS APPLICABLE NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL
- OF BOTH THE CITY ENGINEER AND PROJECT ENGINEER.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND COVER OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCY TO THE PROJECT ENGINEER. THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN ON THESE PLANS. CAUTION IS ADVISED PRIOR TO DIGGING. IT IS IMPORTANT THAT "UTILITY LOCATES" BE PERFORMED ON-SITE.
- 4. TYPE III SILT FENCE SHALL BE INSTALLED AS SHOWN ON THESE PLANS PRIOR TO ANY CONSTRUCTION, MAINTAINED DURING THE LIFE OF THE PROJECT, AND REMOVED FOLLOWING COMPLETION OF CONSTRUCTION
- THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 48 HOURS OF EACH OCCURRENCE.
- 6. ALL DRAINAGE FACILITIES AND STORM STRUCTURES MUST BE BUILT PRIOR TO CONSTRUCTION OF ANY IMPERVIOUS SURFACES.
- 7. ASPHALT PAVEMENT ON-SITE SHALL BE 1-1/2"-THICK (F.D.O.T. TYPE SP-9.5) ON 8" LIMEROCK BASE (98% MAX DENSITY, 100 LBR), ON 12" STABILIZED SUBGRADE (98% MAX DENSITY, 40 LBR). CONSTRUCTION REQUIREMENTS OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SHALL GOVERN.
- 8. IF UNSUITABLE MATERIAL IS ENCOUNTERED WITHIN PARKING AREA, TWO (2) FEET OF UNDERCUT BELOW THE PROPOSED LIMEROCK BASE TOGETHER WITH SUITABLE BACKFILL MATERIAL, IS REQUIRED. THE CONTRACTOR SHOULD PROVIDE A UNIT PRICE IN HIS INITIAL BID, AND HE SHALL NOTIFY THE PROJECT ENGINEER WHEN UNSUITABLE MATERIAL IS ENCOUNTERED. BEFORE PROCEEDING WITH ANY WORK RELATED TO UNSUITABLE MATERIAL, THE CONTRACTOR IS ADVISED TO CONTACT A LICENSED GEOTECHNICAL ENGINEER TO DETERMINE THE SUITABILITY OF THE INSITU SOIL AND THE AREA OF UNDERCUT THAT IS REASONABLY REQUIRED.
- 9. ALL SIGN POSTS TO BE U-CHANNEL GALVANIZED STEEL 2lbs/L.F. BREAKAWAY POSTS.
- 10. ANY DISTURBED AREAS LEFT UNPAVED SHALL BE FINISH GRADED AND SODDED WITH ARGENTINE BAHIA. CONTRACTOR MUST FINISH GRADE AT 2" UNDERCUT OF PROPOSED GRADES TO ALLOW FOR THICKNESS OF SOD.
- 11. IF A SINKHOLE SHOULD FORM ON THIS SITE, ALL APPLICABLE REPAIR PROCEDURES SHALL BE FOLLOWED AS OUTLINED IN TYPICAL SINK CHIMNEY REPAIR DETAIL SHOWN HEREON. ALSO, THE CITY OF OCALA AND SJRWMD SHALL BE NOTIFIED IMMEDIATELY.
- 12. KIMLEY-HORN, INC. AND ITS EMPLOYEES ARE NOT RESPONSIBLE FOR ON-SITE SAFETY DURING CONSTRUCTION.
- 13. THERE ARE NO WETLANDS ON THIS SITE.
- 14. THE SITE CONTRACTOR SHALL INCLUDE THE PROVISION OF A COMPREHENSIVE AS-BUILT SURVEY FOR THE ENTIRE PROJECT IN HIS CONTRACT. THIS SURVEY MUST BE PERFORMED BY A FLORIDA REGISTERED LAND SURVEYOR (FIELD AND OFFICE WORK) AND PROVIDED TO THE PROJECT ENGINEER IN BOTH PDF AND ACAD FORMATS PRIOR TO C.O. THE AS-BUILT SURVEY SHALL INCLUDE VALVE TIE SHEETS FOR ANY NEW VALVES, TOGETHER WITH THE TYPE, SIZE, LOCATION, DEPTH, SLOPE (WHERE APPLICABLE), ETC. OF ALL UTILITIES. IMPORTANT!! THE LOCATIONS AND TOP OF PIPE ELEVATIONS FOR ALL VERTICAL & HORIZONTAL BENDS, TEES, VALVES, AND WYES MUST BE PROVIDED ON THE AS-BUILTS. THE PROJECT ENGINEER WILL REVIEW THE INFORMATION FOR CERTIFICATION OF COMPLETION BEFORE FINAL PAYMENT WILL BE APPROVED. AN INCOMPLETE AND/OR INACCURATE AS-BUILT SURVEY WILL BE REJECTED, AND THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY DELAY IN OBTAINING THE C.O.
- 15. THE GEOTECHNICAL TESTING COMPANY SHALL BE HIRED BY THE OWNER AND THE SPECIFICATIONS FOR THE TESTING SHALL BE GIVEN BY THE PROJECT ENGINEER. ALL TESTS SHALL BE PAID FOR BY THE CONTRACTOR.

UTILITY PROVIDERS:

ELECTRIC: CITY OF OCALA ELECTRIC UTILITY 1805 NE 30TH AVE., BLDG 400 OCALA, FL 34470 RANDY HAHN (352) 351-6615

FIBER & TELEPHONE: LUMEN (LOCAL) 501 MCCORMACK ST LEESBURG, FL 34748 JOHN PLAMONDON

(352) 425-4444

CITY OF OCALA FIBER 1805 NE 30TH AVE, BLDG. 500 OCALA, FL 34470 OSHANE PARKER (352) 401-6950

IBER & TELEPHONE: LUMEN (NATIONAL) 7003 PRESIDENTS DR, STE. 100 ORLANDO, FL 32809 MICHAEL HUNT 716-480-2076

WATER & SEWER: CITY OF OCALA, WATER & SEWER 2100 NE 30TH AVE OCALA, FL 34470 STACEY FERRANTE (352) 351-6775

COMMUNICATION LINES & FIBER: VERIZON 400 S. LAKE DESTINY ORLANDO, FL 32810 TIM COLE

(407)-618-2078

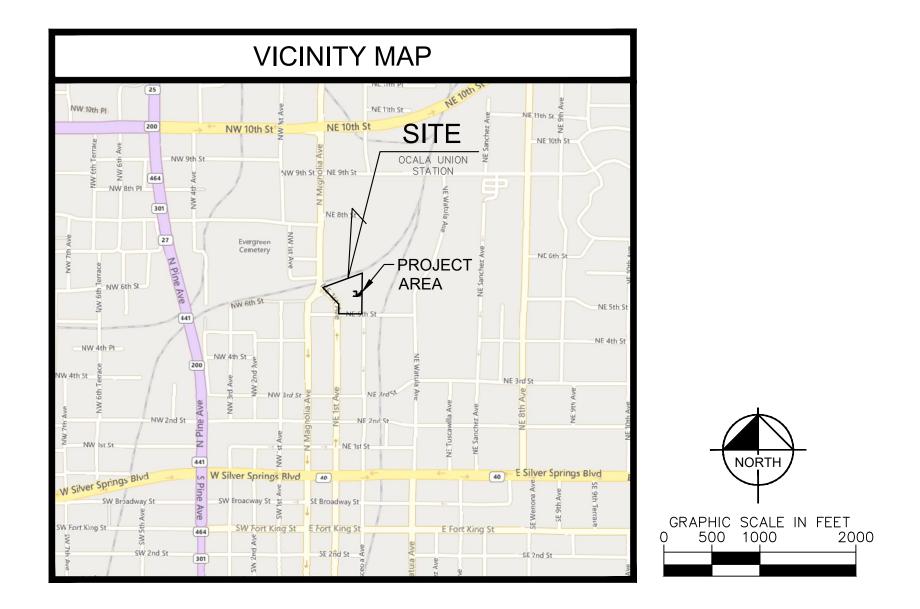
GAS: TECO PEOPLES GAS-OCALA 316 SW 33RD AVE. OCALA, FL 34474 LANDON MEAHL (407) 408-5566

MINOR SITE PLAN FOR **OCALA SUNTRAN RESTROOMS AND KIOSK**

CITY OF OCALA, FLORIDA

PARCEL ID: 28235-001-00

APRL 2024



GENERAL STATEMENT

THE CHARACTER AND INTENDED USE OF THIS DEVELOPMENT SHALL BE TO CONSTRUCT 460 SF TICKET KIOSK AND RESTROOMS BUILDING.



STANDARD NOTES:

- 1. REPRODUCTION OF THESE PLANS IS NOT VALID UNLESS SIGNED BY THE ENGINEER IN RESPONSIBLE CHARGE AND SEALED WITH RAISED EMBOSSED SEAL.
- 2. COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE ENGINEER AND HE WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSEQUENT UNAUTHORIZED CHANGES TO THE REPRODUCIBLE ORIGINAL DOCUMENTS.

			В	REVIEWED
			DATE	For Code Compliance City of Ocala Growth Management
			REVISIONS	SPLM24-45592-Suntran Union Station Restroom - Kook 5392024
			No.	

DRAWING INDEX

C01 - COVER SHEET C01.1 - MASTER LAYOUT C02 - DEMOLITION PLAN C03 - LAYOUT AND GRADING PLAN C04 - STORMWATER POLLUTION PREVENTION PLAN **C05 - CONSTRUCTION DETAILS**

SITE DATA:

PROJECT NAME ······ PROJECT LOCATION ·····	
OWNER	· CITY OF OCALA 1805 NE 30TH AVE. BLDG 700 OCALA, FL 34470-4882
ZONING	·GU
FUTURE LAND USE	· HIGH INTENSITY/CENTRAL CORE
PARCEL ACCT. NO.	· 28235-001-00
PROJECT AREA ······	· 126,716 S.F. = 2.91 ACRES
IMPERVIOUS AREA ·····	NO CHANGE FROM PRE-DEVELOPMENT
FLOOD ZONE ······	٠X
NEW BUILDING SIZE	· 460 S.F.
NEW BUILDING HEIGHT	· 15 FEET
NEW BUILDING NUMBER OF STORIES	- 1 STORY

SURVEY:

CONTACT: ECHEZABAL AND ASSOCIATES, INC.

NOTE:	SEE TOPOGR	RAPHIC	SURVE	Y BY	ECHE	ZABAL	AND
	ASSOCIATES	FOR	BEAR	INGS	&	DISTA	NCES,
	MONUMENTATI	ON, SE	CTION	DATA,	DATU	M, FE	NCES,
	NOTES, AND SL	JRVEYO	R'S CERT	IFICATI	ON.		

PRE-CONSTRUCTION MEETING:

NO SITE WORK SHALL BE CONDUCTED PRIOR TO OBTAINING A SITE PERMIT FROM THE CITY OF OCALA. CALL THE CITY GROWTH MANAGEMENT DEPARTMENT AT 352-692-8421 TO SCHEDULE A PRE-CONSTRUCTION MEETING.

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE CITY OF OCALA LAND DEVELOPMENT CODE EXCEPT AS WAIVED, THAT THE ADJACENT PROPERTIES WILL BE PROTECTED FROM STORMWATER DAMAGE AS A RESULT OF THIS PROPOSED DEVELOPMENT, THAT THE DRAINAGE FACILITIES INCORPORATED HEREON ARE SUFFICIENT IN SIZE, AND THAT SIGHT DISTANCE AT DRIVEWAYS COMPLY WITH A.A.S.H.T.O. AND THE F.D.O.T. SITE IMPACT HANDBOOK. I FURTHER CERTIFY THAT THIS PLAN MEETS ALL REQUIREMENTS OF THE F.D.E.P. AND S.J.R.W.M.D.

OF KIMLEY-HORN AND ASSOCIATES, INC.

DATE:

CALL 2 BUSINESS

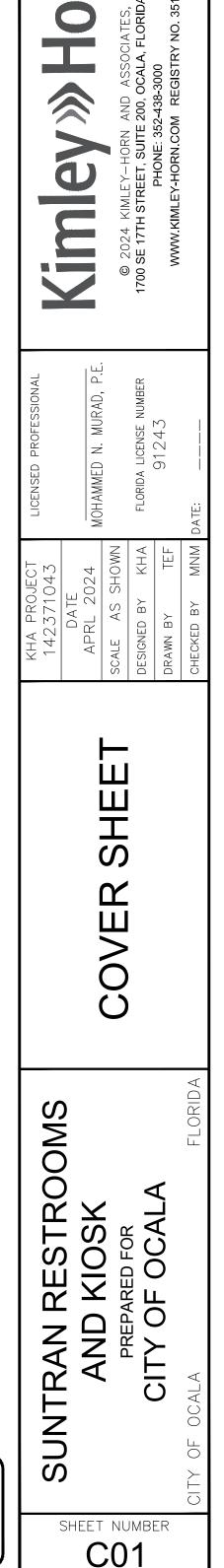
Know what's **below.**

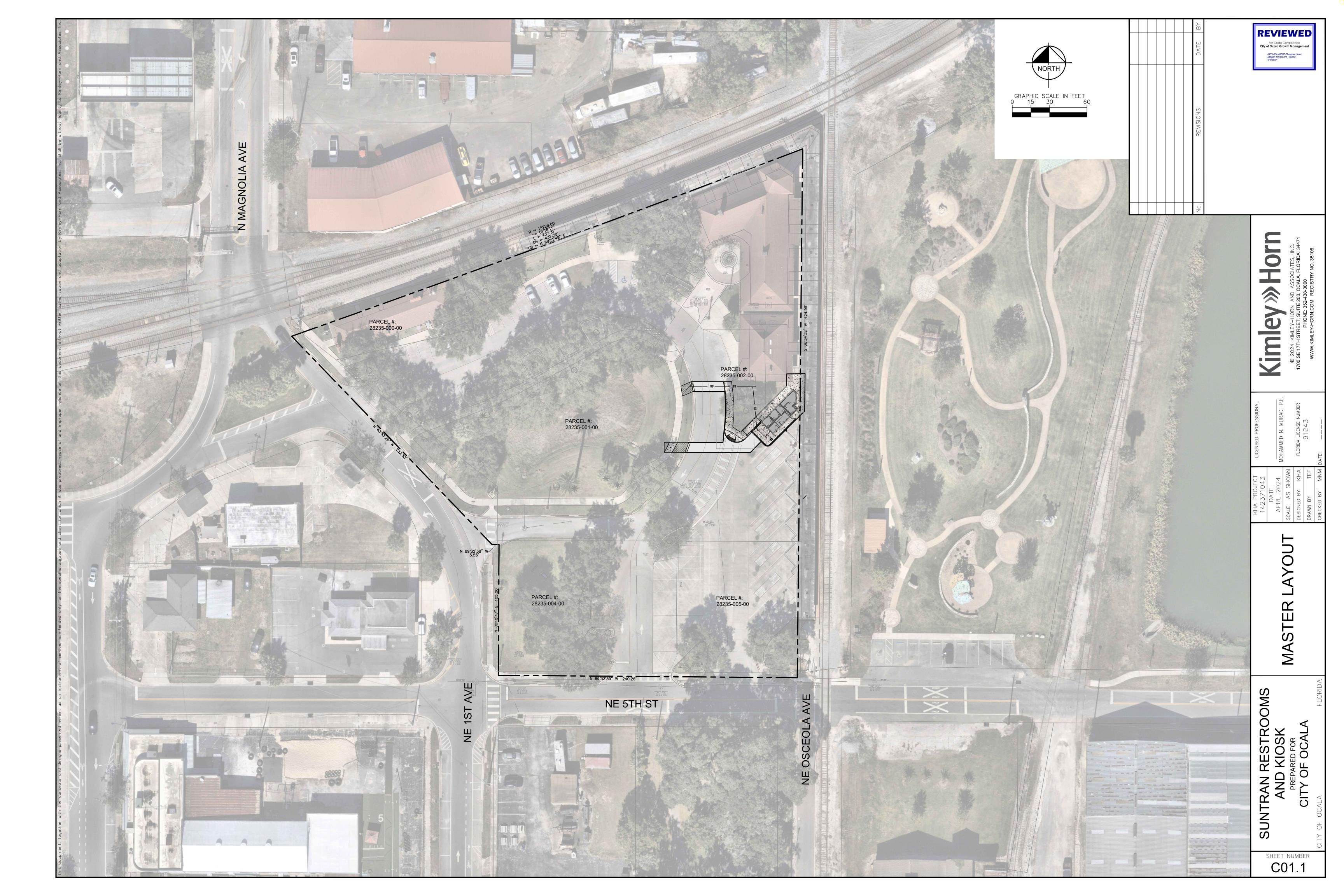
Call before you di

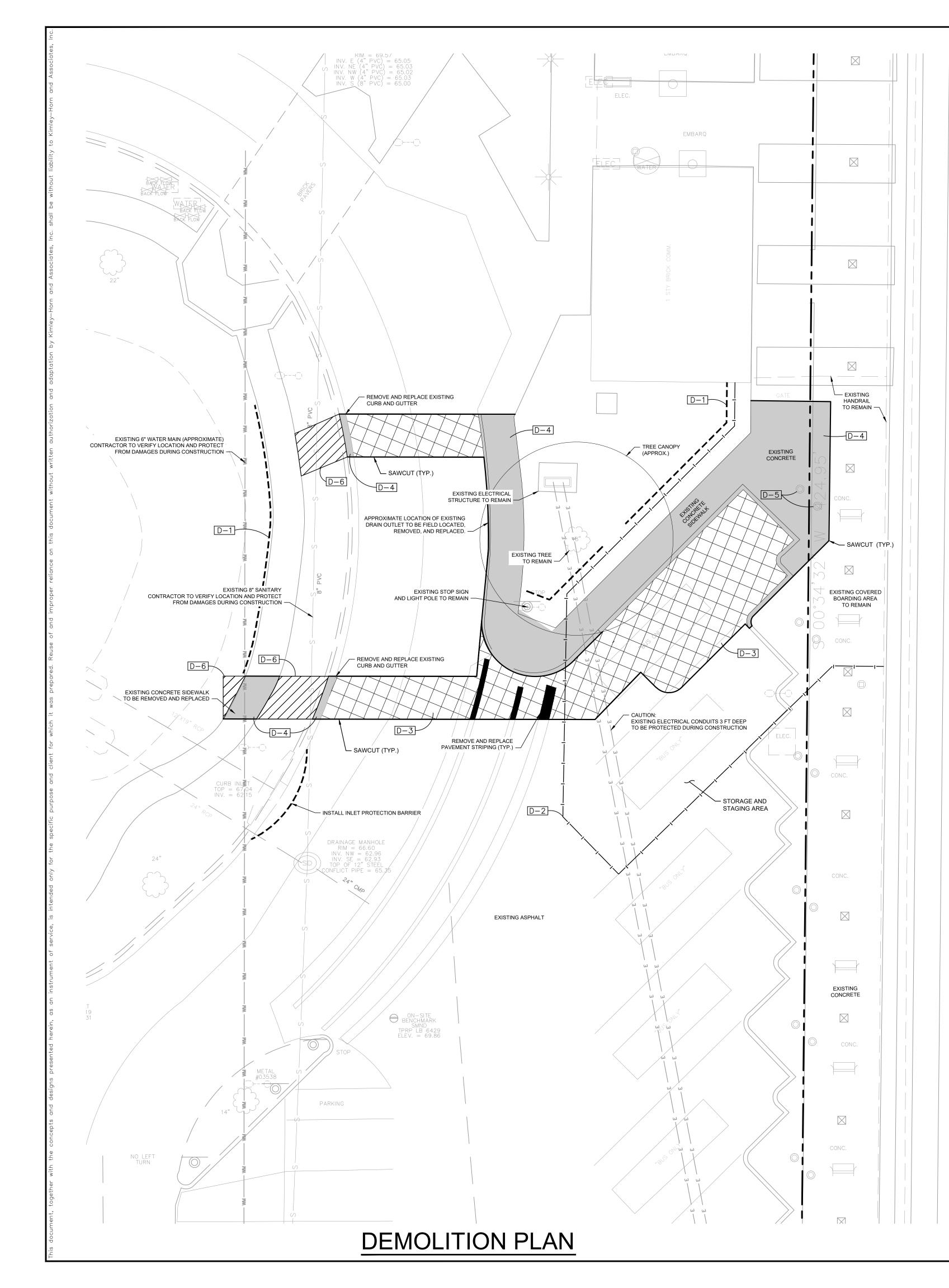
DAYS BEFORE YOU DIG IT'S THE LAW!

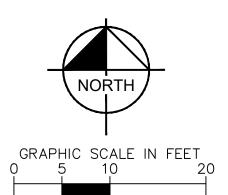
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SUNSHINE STATE ONE CALL OF FLORIDA



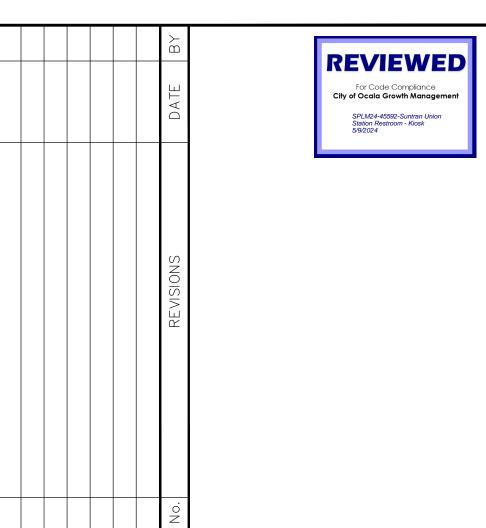






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TREE PRESERVATION NOTE: TREE PRESERVATION MEASURES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY DEMOLITION ACTIVITIES.

GENERAL DEMOLITION NOTES:

 ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
 REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY

3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION AND/OR PRESERVATION OF EXISTING TREES AND NATURAL AREAS. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS PART OF THIS CONTRACT IF THEY CONFLICT WITH THE CONSTRUCTION OF ANY OF THE PROPOSED IMPROVEMENTS. TREE PROTECTION BARRICADES AND FENCING SHALL BE INSTALLED AND INSPECTED IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL REQUIREMENTS PRIOR TO ANY DEMOLITION ACTIVITIES TAKING PLACE.

MOLITION KEYNOTE LEGEND:

ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.

TES LISTED BELOW SHALL BE PERFORMED BY THE SITE CONTRACTOR, UNLESS STATED OTHERWISE. INSTALL SILT FENCE. SEE DETAIL ON SHEET CO4.

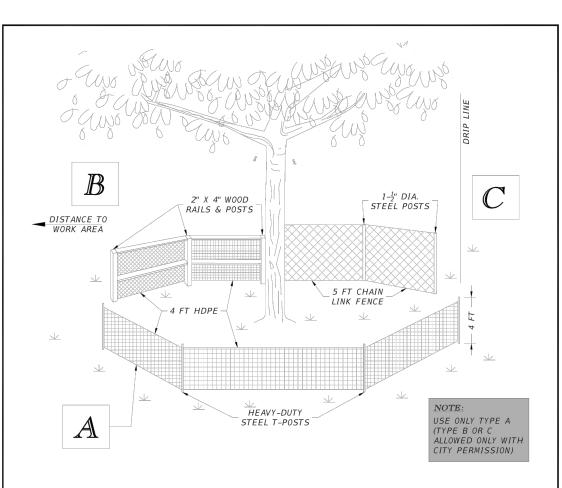
NSTALL SILTFENCE. SEE DETAIL ON SHEET C04.

INSTALL EITHER 2"x4" WOODEN FENCE OR ORANGE CONSTRUCTION BARRIER FENCE AS SHOWN. SEE DETAILS ON SHEET C05. REMOVE EXISTING ASPHALT PAVEMENT WHERE SHOWN CROSS-HATCHED.

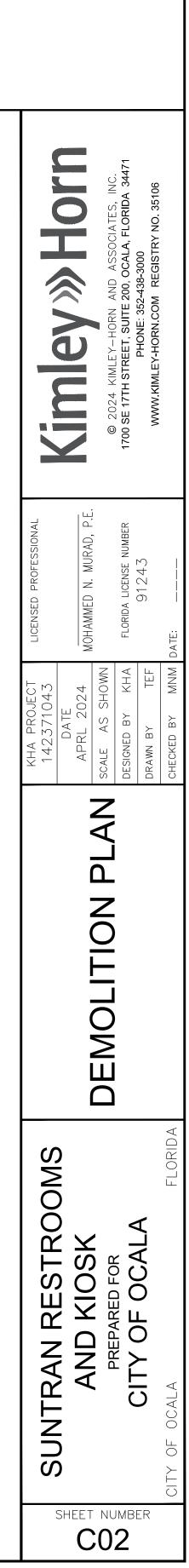
REMOVE EXISTING ASPHALT PAVEMENT WHERE SHOWN CROSS-HATCHED. $\times \times \times \times$ REMOVE EXISTING CURB AND CONCRETE WHERE SHOWN SHADED.

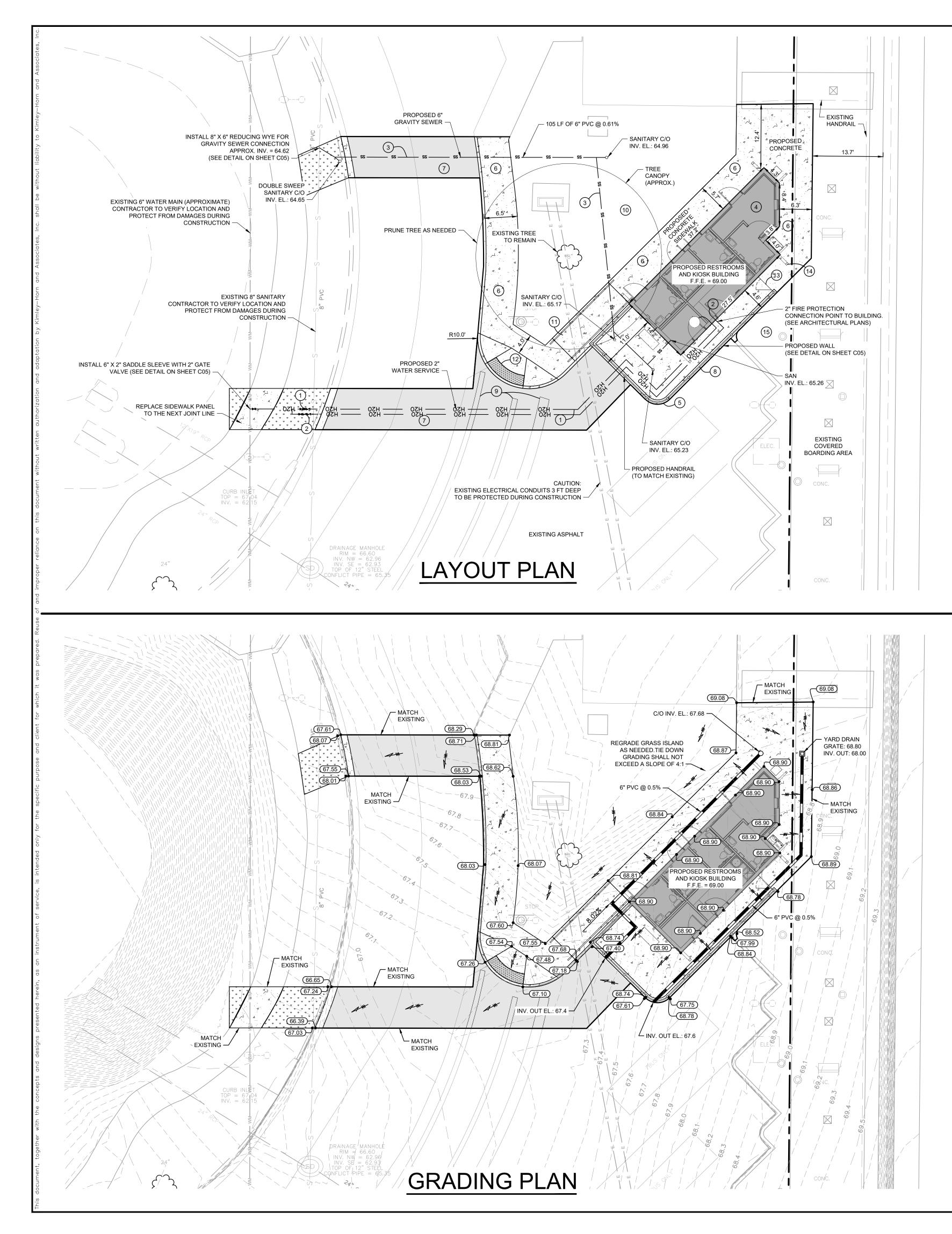
REMOVE EXISTING BOLLARDS.

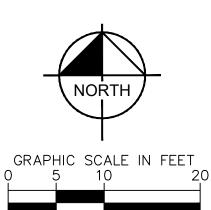
REMOVE AND REPLACE ALL GRASSED AREA THAT IS DISTURBED DURING CONSTRUCTION.

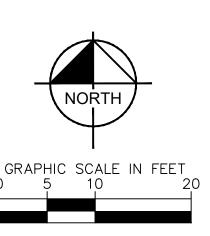


		TREE PROTE	CTION	FENCE 1	YPE C.	HART			
FENCE TYPE	FEN	ICE FABRIC MATERIAL	SET FENCE AT:	DISTANCE TO WORK AREA	FENCE HEIGHT (MIN.)	POST TYPE	POST SPACING (MAX.)	MIDD & TO RAI	0P
A standard		E HEAVY-DUTY ORANGE NSTRUCTION BARRIER	DRIP LINE	10 FEET OR MORE	4 FEET	H-DUTY T-POST	8 FEET	16-GA WIR	
В		E HEAVY-DUTY ORANGE NSTRUCTION BARRIER	90% OF DRIP LINE	5 FEET	4 FEET	2" X 4" WOOD	12 FEET	2" X 4" WOOD	
С	GALV	ANIZED STEEL CHAIN LINK	75% OF DRIP LINE	3 FEET OR LESS	5 FEET	1-1" DIA. STEEL	12 FEET	NON	IE
7		Γ							SECTI
ST OF OC		CITY OF OCA		TYD					GENEI
* COLNTY, HUND		STANDARD DET	AILS	TYPICAL TREE PROTECTION					G-2
CITY ENGINEER'S OFFI 805 NE 30TH AVE, BLDG									EVISION









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M	- GATE V
242	- FIRE LII
	- WATER BACKFI

SITE	CONTRACTOR, U
1.	INSTALL 2" WA METER, BACK
2 -	INSTALL 2" FIR CONNECT TO F
3 -	INSTALL 6" PVC
4	CONSTRUCT 4
5	CONSTRUCT R
6	CONSTRUCT C
7	CONSTRUCT A
8	INSTALL BRON
9.	WHITE PARKIN
(10) -	SOD ANY DIST
(11) -	ADA RAMP AND (PER FDOT IND
(12) -	ADA ACCESSIE (PER FDOT IND
(13) -	PRIVATE ACCE
(14) -	ROOF DRAINS
(15) -	INSTALL TEMP

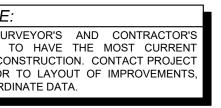
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	- ASPH (SEE
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	- SOD MATO

<u>LEGEND</u>

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GRADING NOTES:

- ENGINEER FOR FUTURE COORDINATION.



- PROPOSED SANITARY SEWER PIPE

OSED WATER LINE

VALVE LINE DOUBLE CHECK DETECTOR

R METER AND REDUCED PRESSURE

FLOW PREVENTOR

CONSTRUCTION NOTES: ALL NOTES LISTED BELOW SHALL BE CONSTRUCTED BY THE

, UNLESS STATED OTHERWISE.

ATER SERVICE LINE AND CONNECT TO EXISTING PIPE AS SHOWN. INSTALL 1-1/2" WATER K FLOW PREVENTER AND ISOLATION VALVE AS SHOWN. SEE ARCHITECTURAL PLAN. RE LINE WITH 2" DOUBLE DETECTOR CHECK VALVE WITH ISOLATION VALVE AND

BUILDING AS SHOWN. SEE ARCHITECTURAL PLAN. /C SANITARY SERVICE PIPE WITH CLEANOUTS AND CONNECT TO EXISTING AS SHOWN.

460 SF RESTROOMS AND KIOSK BUILDING. SEE ARCHITECTURAL PLAN.

RETAINING WALL PER DETAIL ON SHEET C05.

CONCRETE SIDEWALK PER DETAIL ON SHEET C05.

ASPHALT PAVEMENT PER DETAIL ON SHEET C05.

NZE HANDRAIL TO MATCH EXISTING.

NG STRIPE TO MATCH EXISTING.

TURBED AREAS PER GENERAL NOTE #10 SHEET C01.

ND HANDRAIL IN COMPLIANCE WITH LATEST ADA DESIGN STANDARDS IDEX 515-062)

IBLE CURB RAMP AND DETECTABLE WARNING STRIP

IDEX NO. 522-002) ESS GATE TO MATCHED EXISTING FENCE

S TO CONNECT TO 6" DRAINAGE PVC PIPE UNDERGROUND

PORARY BARRIER FENCE DURING CONSTRUCTION TO SEPARATE THE PUBLIC AND

ONGOING CONSTRUCTION ACTIVITY

<u>GEND</u> HALT PAVEMENT

E DETAIL SHEET C05)

NCRETE PAVEMENT E DETAILS SHEET C05)

O AREA AND FINISH TO ICH EXISTING

STING SPOT ELEVATION

POSED SPOT ELEVATION

STING CONTOURS

POSED CONTOURS

OPOSED FLOW DIRECTION ARROWS

1. CROSS SLOPES FOR NEW SIDEWALK SHALL NOT EXCEED 2.0%

2. LONGITUDINAL SLOPES FOR NEW SIDEWALK SHALL NOT EXCEED 5.0%

3. IF THERE IS AN AREA WHERE ITEMS 1 AND 2 ABOVE CANNOT BE MET, INFORM THE

4. THE SIDEWALK SLOPES WILL BE MEASURED BY THE ENGINEER AND THE CITY FOR COMPLIANCE.

								BΥ	REVIEWED
								DATE	For Code Compliance City of Ocala Growth Management SPLM24-45592-Suntran Union Station Restroom - Klosk 59/2024
								No.	
	SEV	EST	IMAT	red i	DOM	ESTI	C SE	WER	MAND: DEMAND: NS = 384 G.P.D. EEX IN C. 32106 S = 384 G.P.D.
:	2.	 ESTIMATED DOMESTIC SEWER DEMAND: 96 USERS PER DAY X 4 GALLONS = 384 G.P.D. ESTIMATED POTABLE WATER DEMAND: 384 G.P.D. X 1.2 = 461 G.P.D. 							

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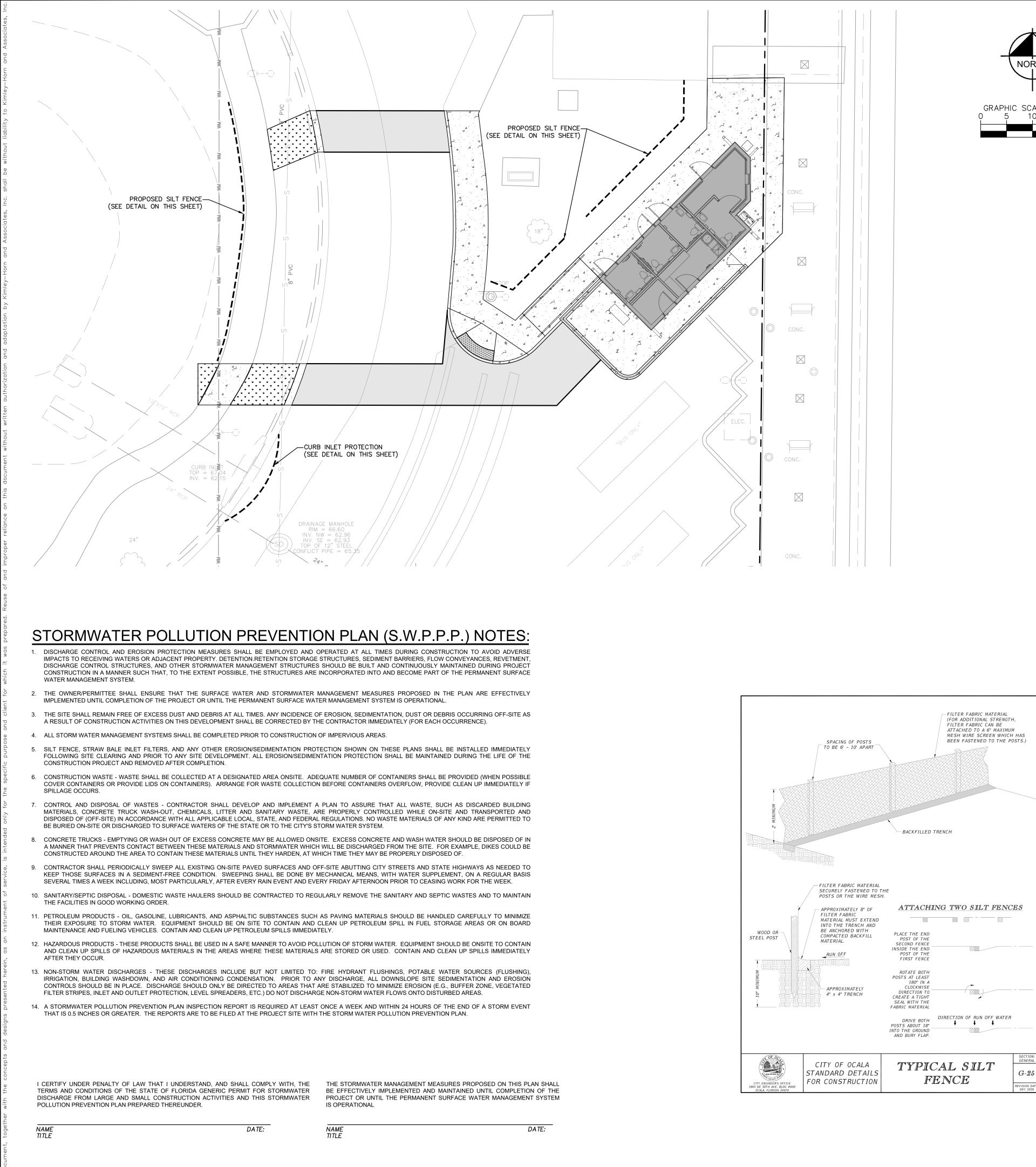
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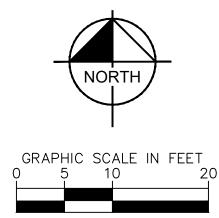


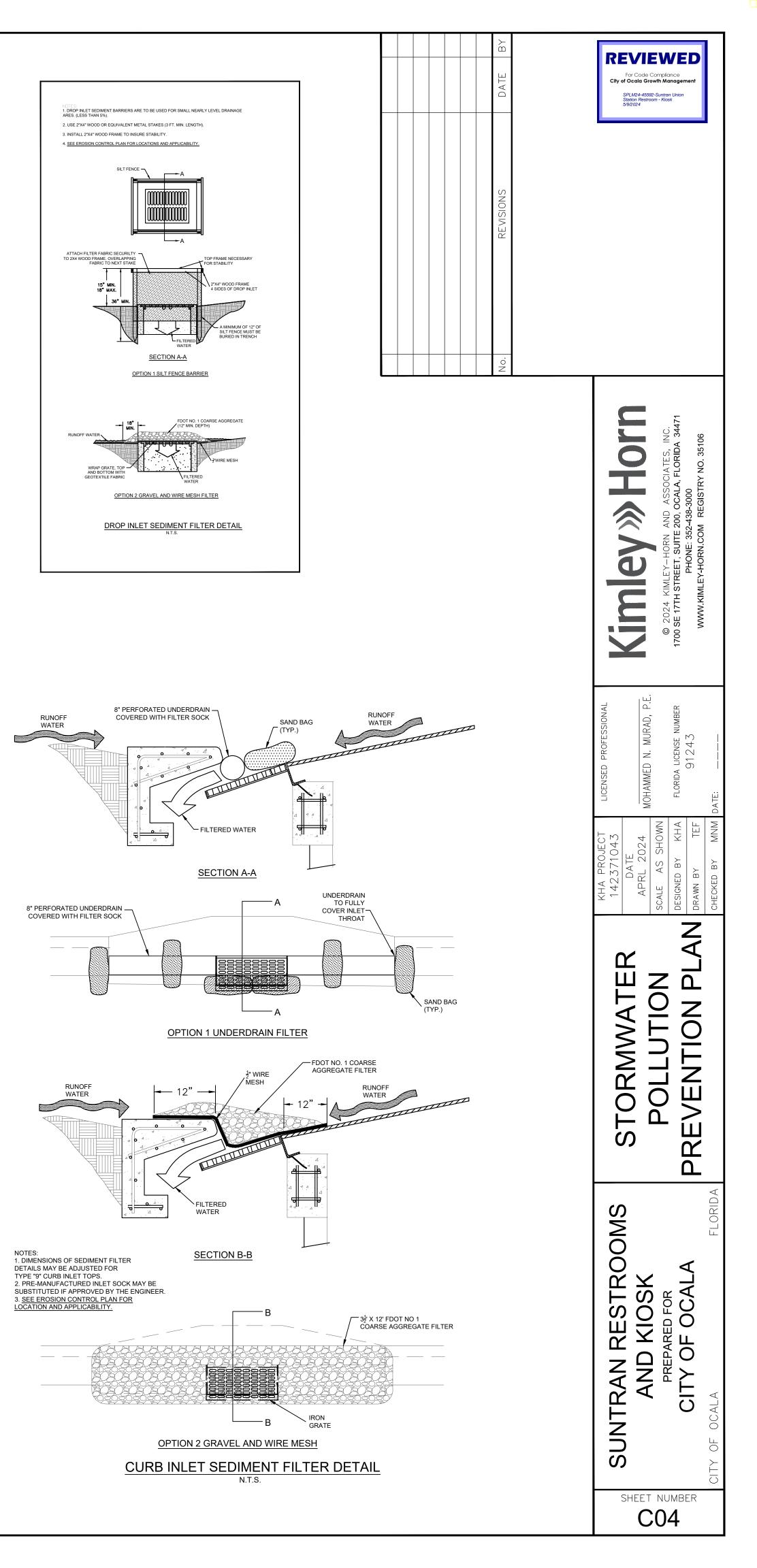
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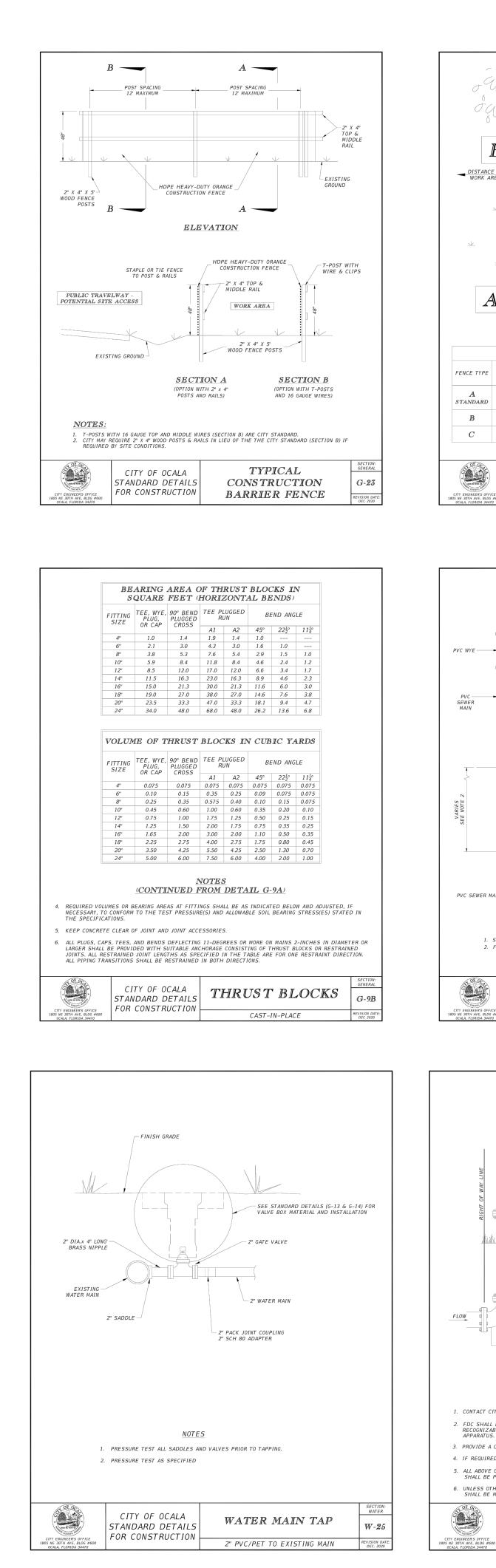
SHEET NUMBER

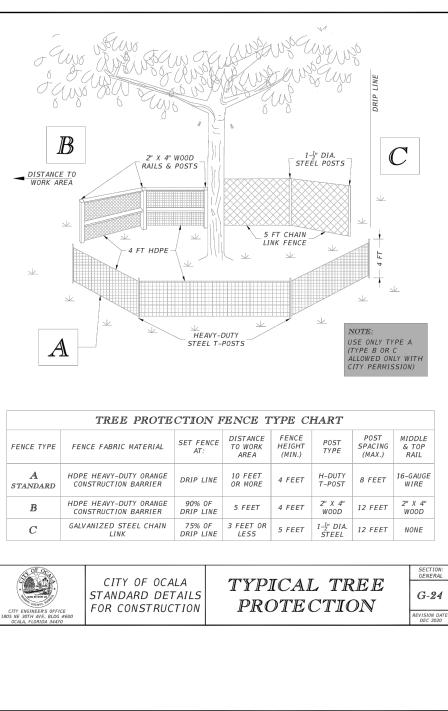
C03

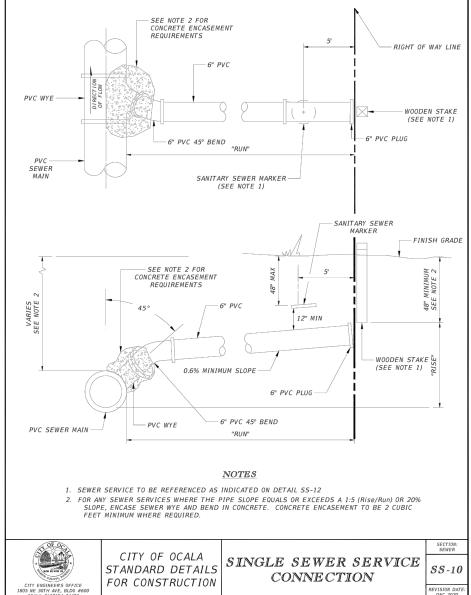


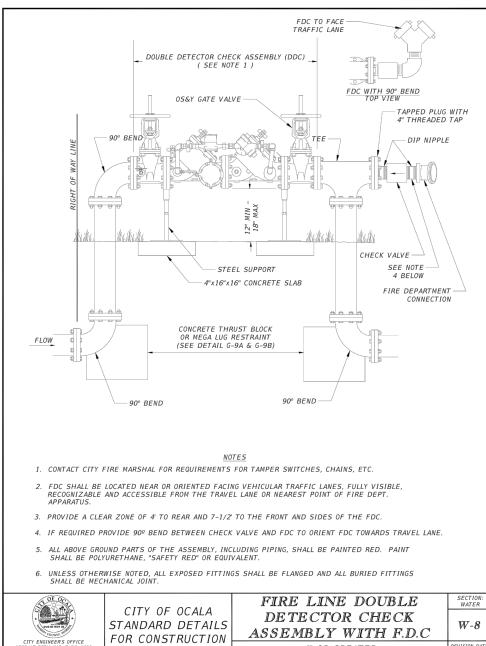




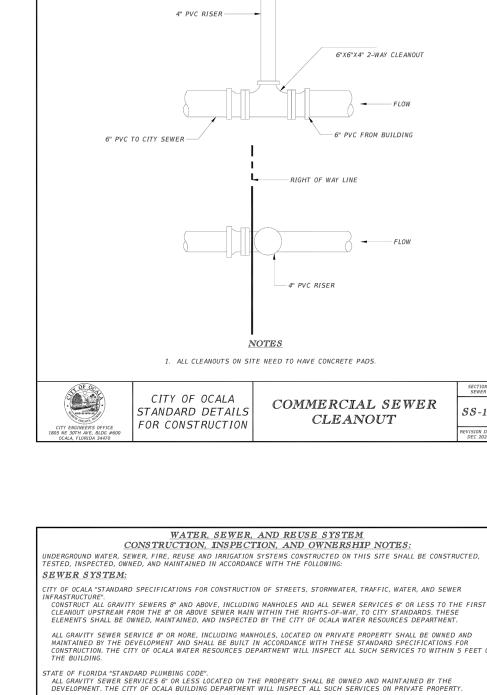








4" OR GREATER



CITY OF OCALA "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER

FRASTRUCTURE". CONSTRUCT ALL POTABLE WATER MAINS AND SERVICES IN THE RIGHT-OF-WAY, UP TO THE POINT OF METERING, TO CITY STANDARDS, INSPECTION WILL BE PERFORMED BY THE WATER RESOURCES DEPARTMENT. CITY WILL OWN AND MAINTAIN THESE FACILITIES.

ALL FIRE MAINS AND HYDRANTS, FROM THE CITY WATER MAIN TO WITHIN FIVE FEET (5) OF THE BUILDING, SHALL BE CONSTRUCTED TO CITY STANDARDS OR NFPA 24 AS REQUIRED. FIRE MAINS LOCATED WITHIN PUBLIC RIGHT-OF-WAY WILL BE OWNED AND MAINTAINED BY THE CITY, AND ALL FIRE MAINS LOCATED ON PRIVATE PROPERTY WILL BE OWNED AND MAINTAINE BY THE DEVELOPMENT. INSPECTION AND TESTING OF ALL FIRE MAINS UP TO THE DOUBLE DETECTOR CHECK (DDC) WILL BE PERFORMED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT.

STATE OF FLORIDA "STANDARD PLUMBING CODE". ALL WATER SERVICES ON PRIVATE PROPERTY DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO THE FLORIDA STANDARD PLUMBING CODE, LATEST EDITION. INSPECTIONS AND TESTING WILL BE PERFORMED BY THE CITY OF OCALA BUILDING DEPARTMENT. THESE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPMENT.

TY OF OCALA "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER

IFRASTRUCTURE". CONSTRUCT ALL REUSE MAINS AND SERVICES IN THE RIGHT-OF-WAY, UP TO THE POINT OF METERING, TO CITY STANDARDS. INSPECTION WILL BE PERFORMED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT. CITY WILL OWN AND MAINTAIN THESE FACILITIES.

STATE OF FLORIDA "STANDARD PLUMBING CODE". ALL REUSE SERVICES ON PRIVATE PROPERTY DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO THE FLORIDA STANDARD PLUMBING CODE, LATEST EDITION. INSPECTIONS AND TESTING WILL BE PERFORMED BY THE CITY OF OCALA BUILDING DEPARTMENT. THESE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPMENT.

CITY OF OCALA "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER INFRASTRUCTURE". CONSTRUCT ALL IRRIGATION MAINS AND SERVICES IN THE RIGHT-OF-WAY, UP TO THE POINT OF METERING, TO CITY STANDARDS. INSPECTION WILL BE PERFORMED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT. CITY WILL OWN AND MAINTAIN THESE FACILITIES.

STATE OF FLORIDA "STANDARD PLUMBING CODE". ALL IRRIGATION PIPING ON PRIVATE PROPERTY DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO THE FLORIDA STANDARD PLUMBING CODE, LATEST EDITION. INSPECTION WILL BE PERFORMED BY THE CITY OF OCALA BUILDING DEPARTMENT. THESE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPMENT.

PRIOR TO ANY UNDERGROUND WATER, SEWER, REUSE, OR IRRIGATION CONSTRUCTION ON THIS SITE THE CONTRACTOR SHALL SET UP AN ON-SITE MEETING WITH THE CITY OF OCALA PROJECT INSPECTORS (352) 401-6935 OR (352) 351-6712 TO DISCUSS SHOP DRAWINGS, INSTALLATION, INSPECTION, TESTING AND AS-BUILT REQUIREMENTS.

CITY OF OCALA SITE OWNERSHIP

GENERAL NOTES

STANDARD DETAILS AND INSPECTION G-7

WATER SYSTEM:

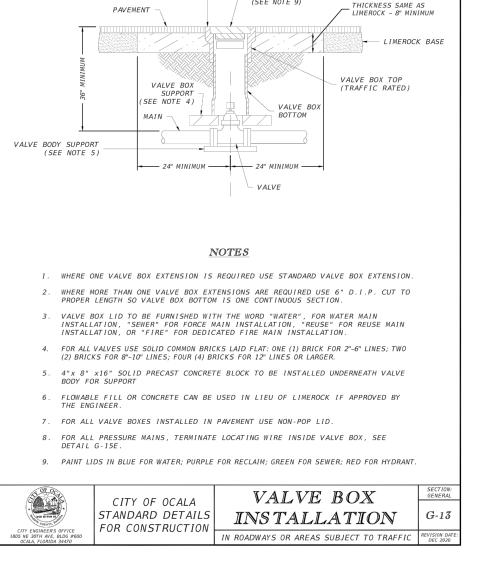
REUSE SYSTEM:

IRRIGATION SYSTEM:

CITY ENGINEER'S OFFICE 1805 NE 30TH AVE, BLDG #600

PRE-CONSTRUCION MEETING REQUIRED:

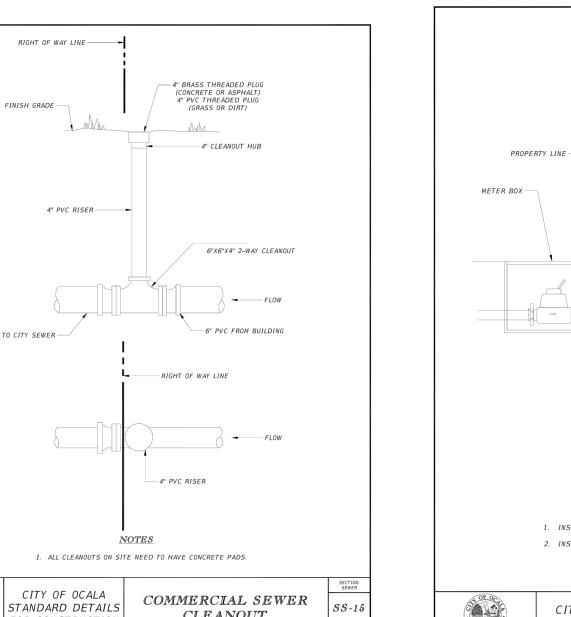
FOR CONSTRUCTION

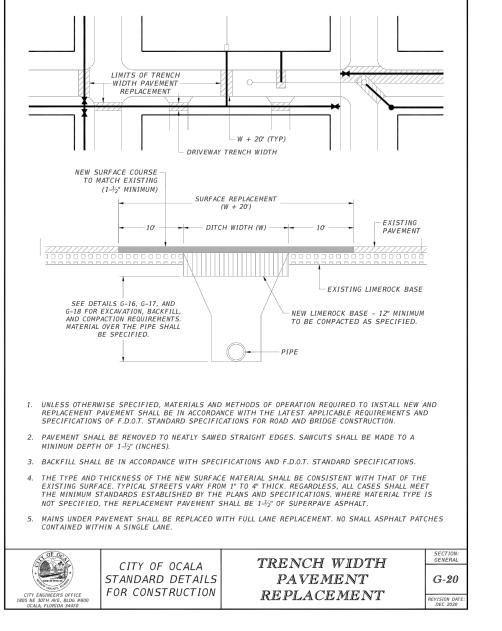


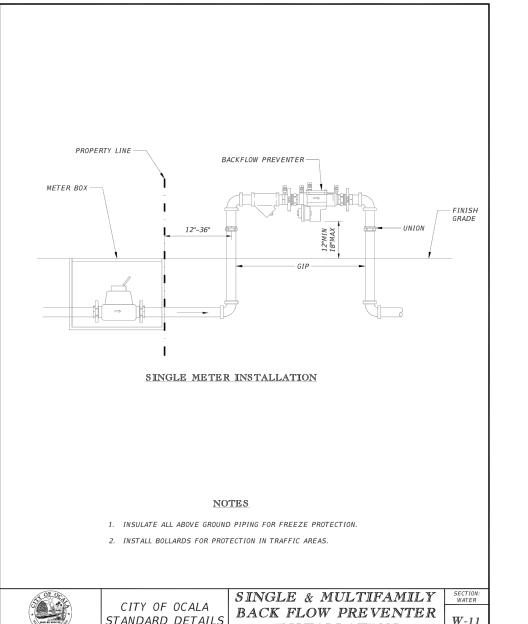
VALVE BOX LID TO BE PAINTED (SEE NOTE 9)

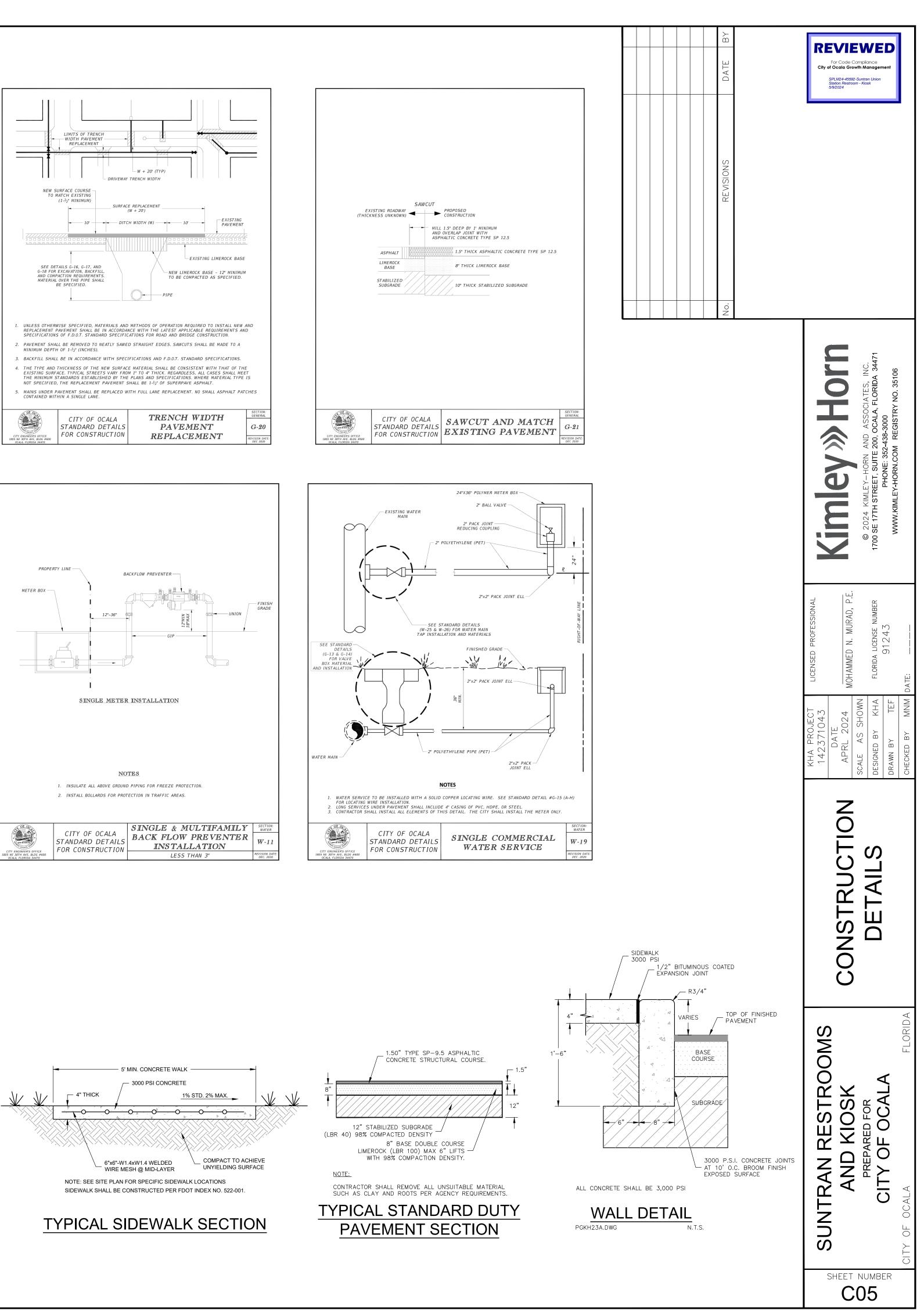
VALVE BOX COVER TO BE FLUSH WITH PAVEMENT

PAVEMENT









Description:

Parcel 100 (O.R. 2633, PG. 1198)

Commence at the Northwest corner of Section 17, Township 15 South, Range 22 East, in Marion County, Florida; thence run South 88°54'53" East, for a distance of 0.60 foot; thence run South 01°05'07" West, along the Easterly right of way line of North Magnolia Avenue (40.00 feet wide), for a distance of 322.27 feet; thence run South 42°56'51" East, along the maintenance line as defined by the City of Ocala Engineering Department, also known as the Northeasterly right of way line of Northeast 1st Avenue (right of way varies), for a distance of 49.11 feet to the POINT OF BEGINNING; thence continuing Southeasterly along said line, for a distance of 204.89 feet; thence run South 88°35'58" East, for a distance of 246.29 feet; thence run North 01°31'13" East, along the Westerly right of way line of the A.C.L. Railroad, for a distance of 293.11 feet to the point of curvature of a non-tangent curve, concave to the North, and having for its elements: a radius of 19253.86 feet, a central angle of 01°14'25", and a chord of 416.75 feet bearing South 70°48'21" West; thence run Westerly along said curve, for a distance of 416.76 feet to the POINT OF BEGINNING; said described parcel containing 74,858.63 square feet, more or less.

TOGETHER WITH:

Commence at the Northwest corner of Section 17, Township 15 South, Range 22 East, in Marion County, Florida; thence run South 88°54'53" East, for a distance of 0.60 foot; thence run South 01°05'07" West, along the Easterly right of way line of North Magnolia Avenue (40.00 feet wide), for a distance of 322.27 feet; thence run South 42°56'51" East, along the maintenance line as defined by the City of Ocala Engineering Department, also known as the Northeasterly right of way line of Northeast 1st Avenue (right of way varies), for a distance of 21.66 feet to the POINT OF BEGINNING; thence continuing Southeasterly along said line, for a distance of 27.45 feet to the point of curvature of a non-tangent curve, concave to the North, and having for its elements: a radius of 19253.86 feet, a central angle of 01°14'25", and a chord of 416.75 feet bearing North 70°48'21" East; thence run Easterly along said curve, for a distance of 416.76 feet; thence run North 01°31'13" East, along the Westerly right of way line of the A.C.L. Railroad, for a distance of 26.84 feet to the point of curvature of a non-tangent curve, concave to the North, and having for its elements: a radius of 19228.86 feet, a central angle of 01°18'11", and a chord of 437.30 feet bearing South 70°48'29" West; thence run Westerly along said curve, for a distance of 437.31 feet to the POINT OF BEGINNING; and said described parcel containing 10,675.90 square feet, more or less.

Parcel 101 (O.R. 2633, PG. 1204)

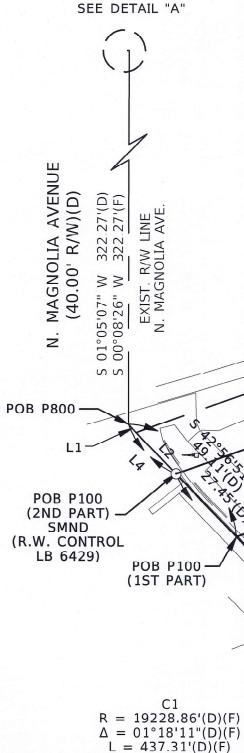
Those parcels of land described as: Commence 145 feet East of NE intersection of Northeast 5th Street and Northeast 1st Avenue in the City of Ocala, thence North 105 feet to Railroad Grounds, thence East to Osceola Street, thence south to Northeast 5th street, thence West to the Point Of Beginning; and, Commence at the Northeast intersection of Main and May Streets in Ocala, Florida, run thence East 145 feet, North 105 feet to railroad grounds, West to Main Street, South with Main Street to P.O.B.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Commence at the Northwest corner of Section 17, Township 15 South, Range 22 East, in Marion County, Florida; thence run South 88°54'53" East, for a distance of 0.60 foot; thence run South 01°05'07" West, along the Easterly right of way line of North Magnolia Avenue (40.00 feet wide), for a distance of 322.27 feet; thence run South 42°56'51" East, along the maintenance line as defined by the City of Ocala Engineering Department, also known as the Northeasterly right of way line of Northeast 1st Avenue (right of way varies), for a distance of 254.00 feet; thence run South 88°35'58" East, for a distance of 5.55 feet to the POINT OF BEGINNING; thence run South 01°15'28" West, along the Easterly right of way line of Northeast 1st Avenue (59.00 feet wide) for a distance of 105.00 feet; thence run South 88°35'58" East, along the Northerly right of way line of Northeast 5th street (40.00 feet wide), for a distance of 240.26 feet; thence run North 01°31'13" East, along the Westerly right of way line of the A.C.L. Railroad, for a distance of 105.00 feet; thence run North 88°35'58" West, for a distance of 240.74 feet to the POINT OF BEGINNING; said described parcel containing 25,252.17 square feet, more or

SURVEYOR'S NOTES:

- 1. THE GRID BEARINGS AND DISTANCES SHOWN ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE 0902, 1983 NORTH AMERICAN DATUM, 2011 ADJUSTMENT, AS ESTABLISHED FROM THE EXISTING EAST RIGHT OF WAY LINE OF NORTH MAGNOLIA AVENUE, HAVING A BEARING OF S 00'08'29" W.
- 2. PROPERTY BOUNDARIES DETERMINED FROM FIELD SURVEY, FOUND MONUMENTATION & OCCUPATION, AND PROVIDED FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR OCALA UNION TRAIN STATION, SECTION 36000-2622, W.P.I. No. 5123439, LAST REVISED 6-7-1999. NO TITLE WORK WAS SUPPLIED.
- 3. NO IMPROVEMENTS EXIST WITHIN SUBJECT PROPERTY, EXCEPT AS SHOWN. FOUNDATIONS THAT MAY EXIST, ARE NOT SHOWN. 4. ALL DISTANCES AND BEARINGS ARE COMPUTED FROM A CLOSED TRAVERSE OR DIRECT FIELD MEASUREMENT, UNLESS SHOWN OTHERWISE. 5. ATTENTION IS DIRECTED TO THE FACT THAT THESE MAPS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE
- CONSIDERED WHEN OBTAINING SCALED DATA. 6. THIS PROJECT WAS STARTED BY ECHEZABAL & ASSOCIATES, INC.(EAI) AND COMPLETED BY SAM SURVEYING AND MAPPING,
- LLC.(SAM), WHICH ACQUIRED EAI DURING THE COURSE OF PREPARING THE SURVEY. EAI'S LB 6429 WAS USED FOR ANY MONUMENTATION SET FOR THIS PROJECT. 7. LAST DATE OF SURVEY: 11/21/22
- 8. PARCEL 800 IS A PERPETUAL EASEMENT AND WAS QUIT CLAIMED TO CITY OF OCALA PER O.R. 2633, PG. 1200. 9. OVERALL PARCEL CONTAINS 2.543 ACRES, MORE OR LESS.



C2 R = 19212.36'(C) $\Delta = 01^{\circ}23'31''(C)$ L = 466.77'(C)CH = 466.76'(C)CB = S 69°50'29" W(C)

CH = 437.30'(D)(F)

C3R = 19253.86'(D) $\Delta = 01^{\circ}14'25''(D)$ L = 416.76'(D)CH = 416.75'(D) $CB = S 69^{\circ}51'40'' W$ S 70°48'21" W(D)

L1	N 43°53'32" \
	S 42°56'51" E
L2	N 43°53'32" \
	S 42°56'51" E
L3	N 89°25'28" \
	N 87°40'23"
L4	S 43°53'32" E
	S 42°56'51" E

